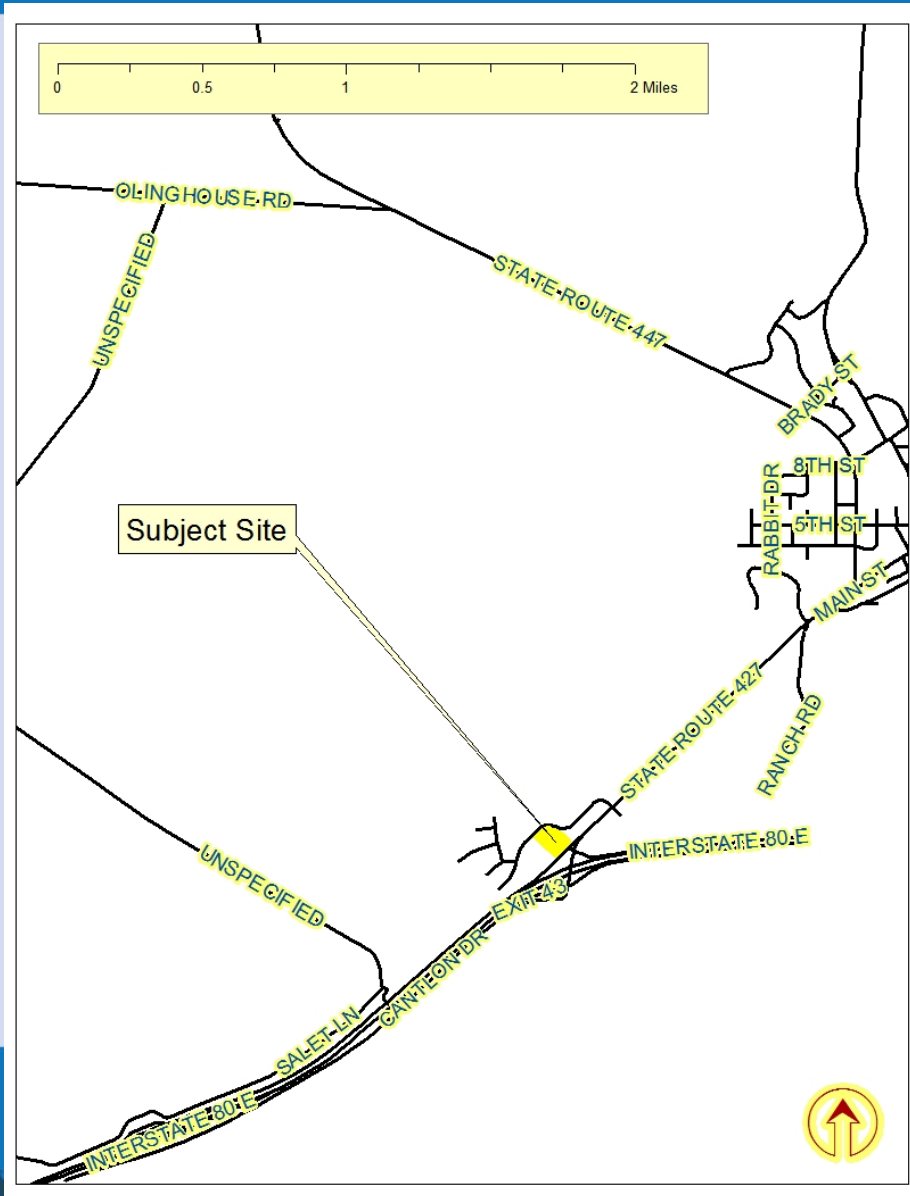# Planning Commission

May 1, 2018

Master Plan Amendment - WMPA18-0002
Regulatory Zone Amendment – WRZA18-0001
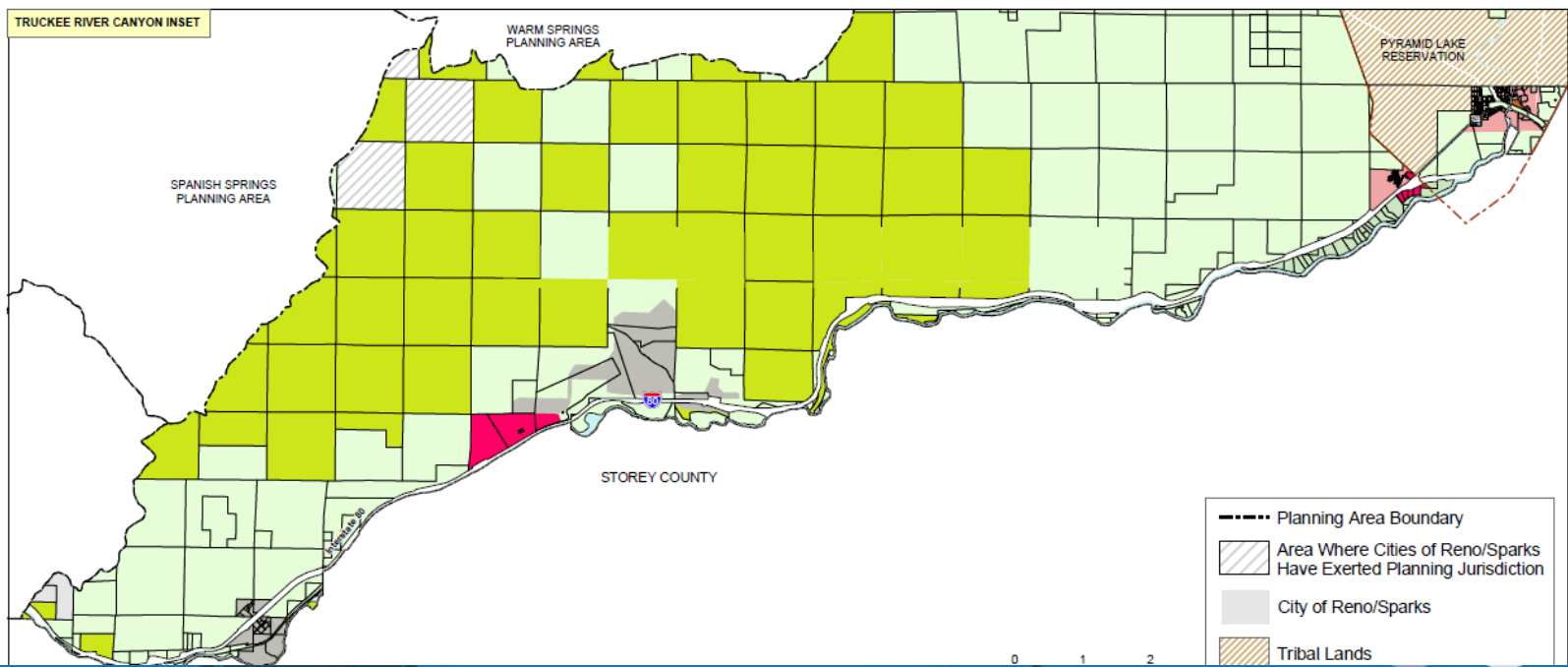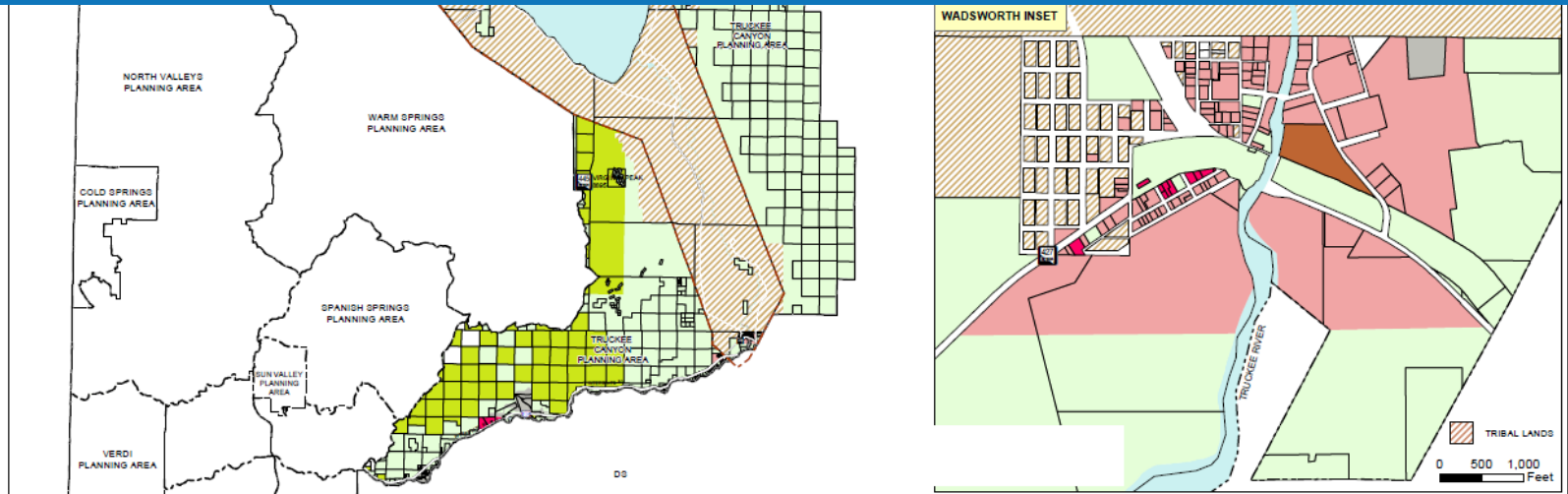Development Code Amendment – WDCA17-0008

Vicinity

Master Plan Map

Overview of Parcel

- **5.4 Acres in Size**

- **Located in Truckee Canyon Area Plan**

- **Backs up to Interstate 80**

- **Adjacent to the Pyramid Lake Fire Rescue Station and Stampmill Estates – an existing residential subdivision with Medium Density Suburban regulatory zone.**
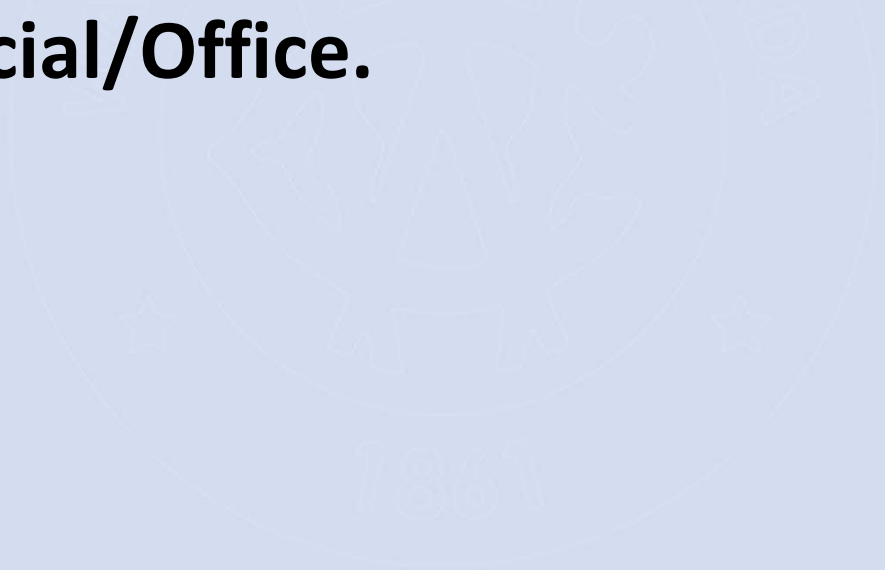
Overview of MPA

- **A Master Plan Amendment to the Truckee Canyon Area Plan**
  - To allow commercial categories and regulatory zones for use types that do not require municipal services.
  - To add a statement restricting the commercial use types that do not require municipal services.
  - To amend the existing Suburban Residential Master Plan category to Commercial Master Plan category.

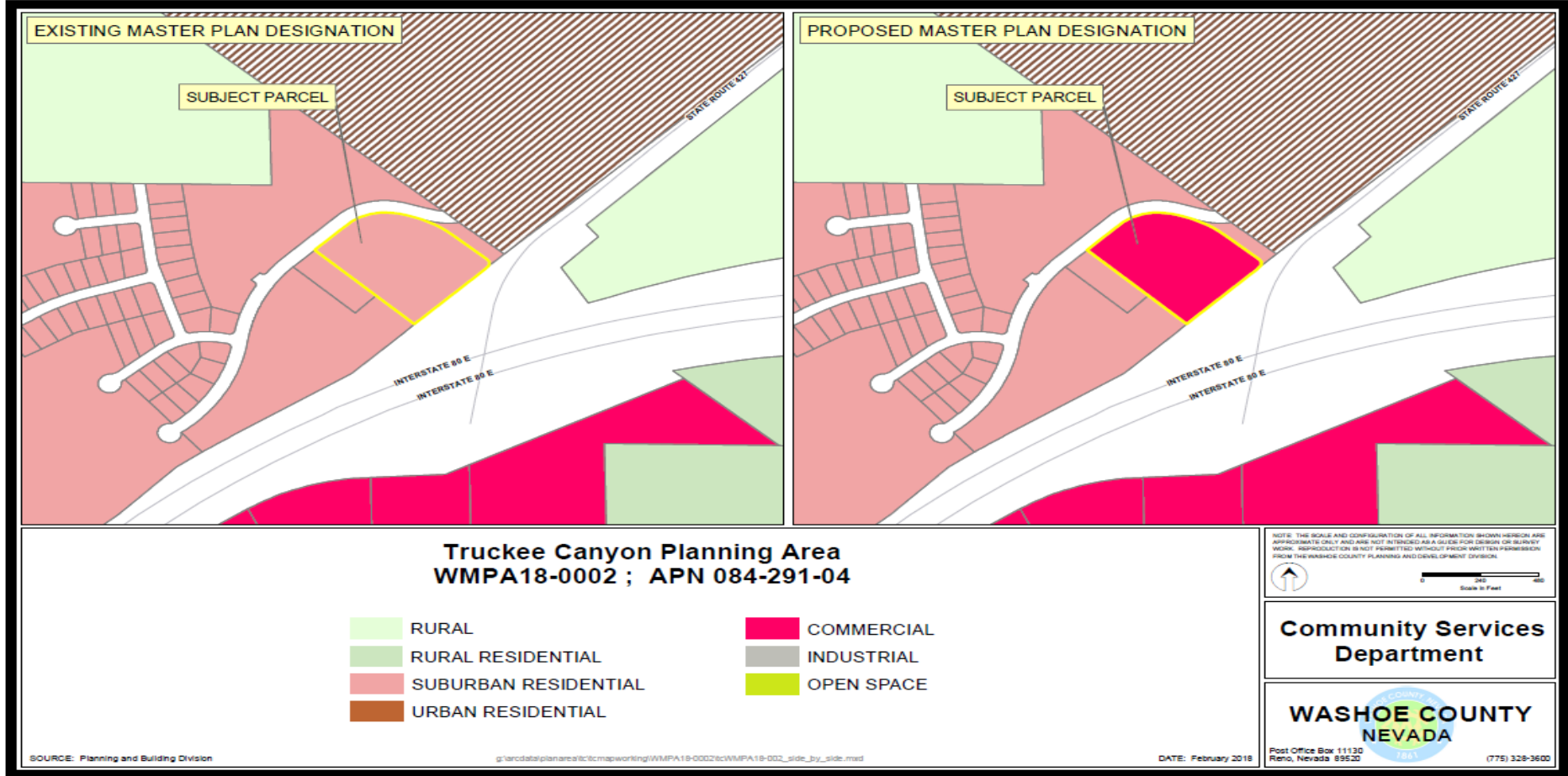- **A Regulatory Zone Amendment on the Subject Site (APN: 084-291-04) to change Medium Density Suburban to Neighborhood Commercial/Office.**

- **To initiate a Development Code Amendment by adding a new section WCC 110.222.20 and associated map WCC 110.222.20 to allow commercial use types on the subject property in the Truckee Canyon Area with Neighborhood Commercial/Office (NC) regulatory zone subject to a Special Use Permit**
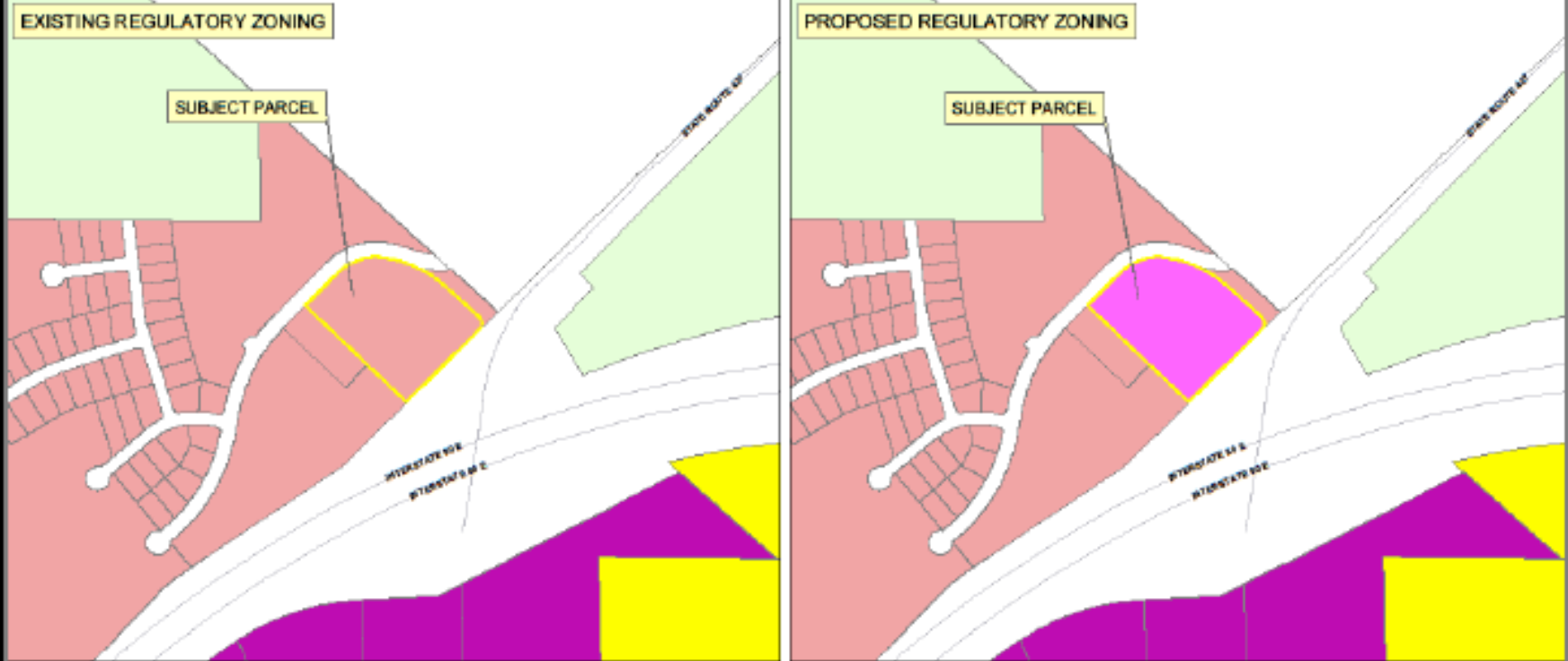
MPA Map

EXISTING MASTER PLAN DESIGNATION

SUBJECT PARCEL

PROPOSED MASTER PLAN DESIGNATION

SUBJECT PARCEL

Truckee Canyon Planning Area
WMPA18-0002 ; APN 084-291-04

RURAL		COMMERCIAL	
RURAL RESIDENTIAL		INDUSTRIAL	
SUBURBAN RESIDENTIAL		OPEN SPACE	
URBAN RESIDENTIAL			

NOTE: THE SCALE AND CONFIGURATION OF ALL INFORMATION SHOWN HEREON ARE APPROXIMATE ONLY AND ARE NOT INTENDED AS A GUIDE FOR DESIGN OR SURVEY WORK. REPRODUCTION IS NOT PERMITTED WITHOUT PRIOR WRITTEN PERMISSION FROM THE WASHOE COUNTY PLANNING AND DEVELOPMENT DIVISION.

Community Services Department

WASHOE COUNTY NEVADA
Post Office Box 11130
Reno, Nevada 89520
(775) 328-3600

SOURCE: Planning and Building Division

g:\arcdata\planarea\tc\tcmapworking\WMPA18-0002\tcWMPA18-002_side_by_side.mxd

DATE: February 2018

RZA Map

Truckee Canyon Planning Area
WRZA18-0001 ; APN 084-291-04

Compatibility

Compatibility Rating of Proposed Regulatory Zones with Existing Regulatory Zones on Adjacent Parcels

Proposed Regulatory Zones	Existing Adjacent Regulatory Zones	Compatibility Rating
Neighborhood Commercial/Office (NC)	Medium Density Suburban (MDS)	Existing: High
		Proposed: Low

High Compatibility: Little or no screening or buffering necessary.
Medium Compatibility: Some screening and buffering necessary.
Low Compatibility: Significant screening and buffering necessary.

Public Notice & CAB

- **Notice sent to 36 property owners within 900 feet**

- **East Truckee Canyon CAB, February 7, 2018 – unanimously recommended denial**

- **Citizens expressed concerns over the regulatory zone amendment**

Truckee Canyon Area Growth

- **Future growth demand is hard to predict in this area due to the growth of the Reno-Tahoe Industrial Center.**

- *No neighborhood/commercial office uses are known to currently exist in the Truckee Canyon planning area. Future neighborhood/commercial office uses should only occur in the downtown Wadsworth area to serve the needs of the residents in the planning area (i.e. medical offices, banking, etc.).*

MPA Recommendation

- **It is recommended that the Washoe County Planning Commission deny the Master Plan amendment, being unable to make the findings required.**

- **Motion on page 21 of your staff report.**

RZA Recommendation

- **It is recommended that the Washoe County Planning Commission deny the proposed Regulatory Zone Amendment, due to the inability to make the required findings.**

- **Motion on page 21 of your staff report.**

DCA Recommendation

- **It is recommended that the Washoe County Planning Commission deny the Development Code amendment, due to the inability to make the required findings.**

- **Motion on page 22 of your staff report.**

Spot Zoning?

- **The desire of the applicant is to make a series of changes that will allow one or more commercial uses on one particular parcel of land**

- **These changes are incompatible with all surrounding allowable uses.**

- **The District Attorney's Office has reviewed the proposal this proposal may constitute a type of invalid "spot zoning."**

- **The Planning Commission has the authority to make that determination.**

Spot Zoning?

- **If a determination is made that this proposal would amount to invalid spot zoning, that determination would correlate to a finding that the proposal is not consistent with the master plan and that it does not substantially comply with the policies and action programs of the master plan.**

Black Rock Storage

- **Questions?**